

Retail Building With Signage On West Wendover

709 Carnegie Place | Greensboro, NC 27409



- ◆ Available For Lease
- ◆ 7,450 SF \pm on 0.68 Acres
(Includes mezzanine: 1,000 sf \pm)
- ◆ Visible from West Wendover
- ◆ Great Signage on Wendover
- ◆ Excellent Location
- ◆ Ready To Occupy

Conveniently located on West Wendover Avenue across the street from Costco.

The property is zoned Commercial Medium and was formerly occupied by US Auto Sales.

Call for more details.



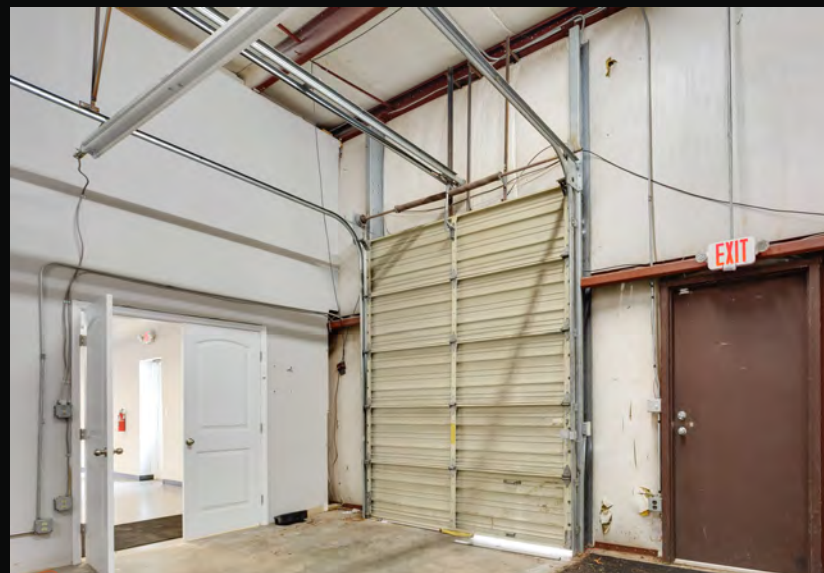
JJ Joubran, CCIM

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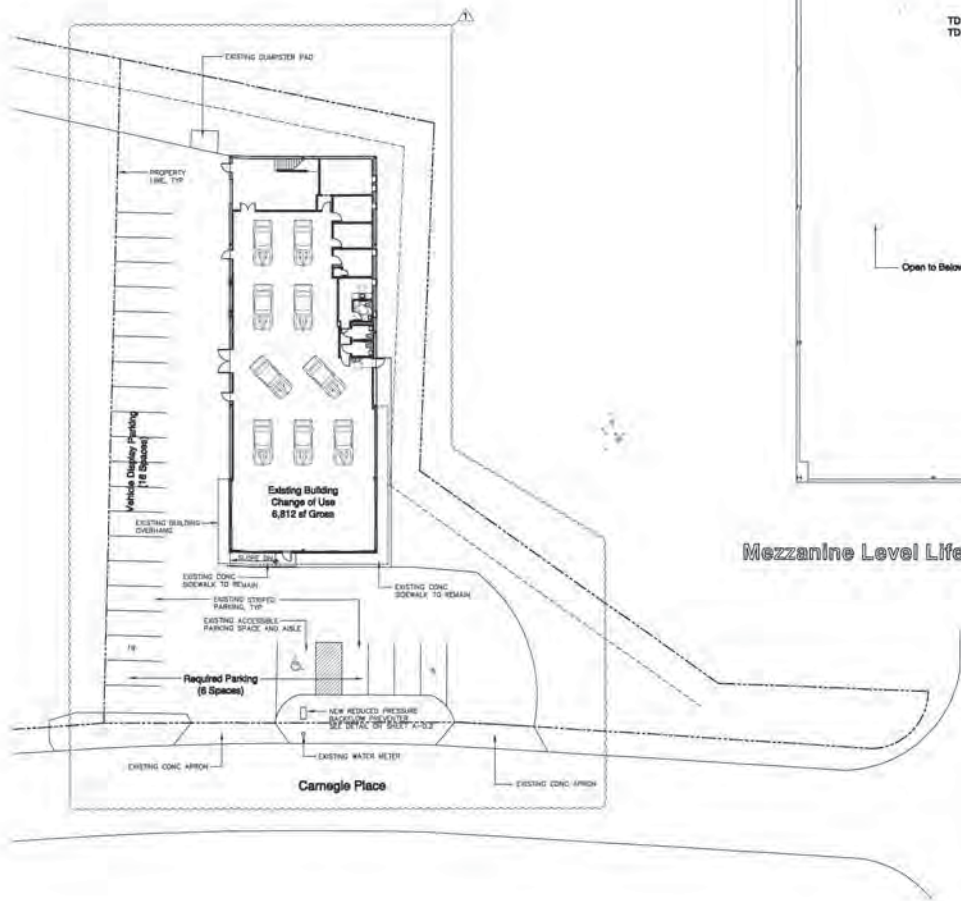
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PARKING PLAN



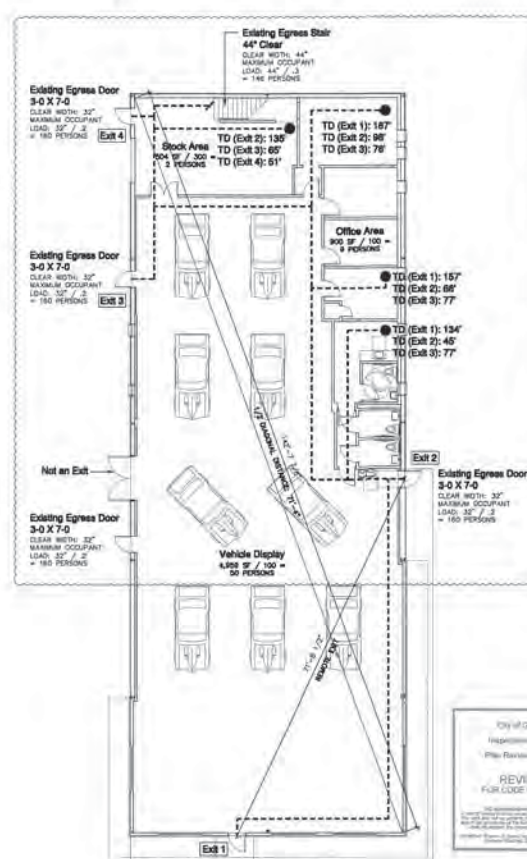
Provide exit lighting over required exits and emergency lighting.



Mezzanine Level Life Safety Plan
3/31" = 1'-0"



Main Level Life Safety Plan
3/32" = 1'-0"



City of Greensboro
Inspection Department
File Review # 2019-1130
REVIEWED
FOR CODE COMPLIANCE

Parking Tabulation
Building Area: 6,812 sf Gross
Display Area: 4,959 sf

Vehicle Sales and Service:
Sales: 5 Spaces plus 1 per 10,000 sf of display
6,812 sf / 10,000 sf = 0.6812 = 1 spaces

Required: 6 spaces
Provided: 6 spaces



SMITH ARCHITECTURE, PA
102 Parkway Center Suite 100 Greensboro, NC 27401 (336) 722-5600

US Auto Sales
709 Carnegie Place Greensboro, North Carolina
Revision: A - 06-20-19: Building Inspection Review

A-0.1

FLOOR PLAN

Room Finish Schedule

MARK	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	VEHICLE DISPLAY	EXTG	EXTG	EXTG	EXTG	
101	OFFICE	CAR	RUB	POB	EXTG	
102	OFFICE	CAR	RUB	POB	EXTG	
103	OFFICE	CAR	RUB	POB	EXTG	
104	BREAK	VCT	RUB	POB	EXTG	
105	ACCESSIBLE TOILET	VCT	RUB	POB	EXTG	

ABBREVIATIONS	WALLS	FLOOR	CEILING
EXP EXPANDED	P PAINT	CONC CONCRETE	ACT ACUSTICAL CEILING
WD WOOD	POB PAINTED CONC BLK	CONC CONCRETE	YCG YES COATED GYPSUM BOARD
CEP CEILING HOLDING	POB PAINTED GYPSUM BOARD	CEG CERAMIC	QTY QUARTZ TILE
WEC WAINSCOT	POB PAINTED BRCK	CEG CERAMIC	LAM LAMINATED FLOORING
RUB RUBBER	YVC VINYL WALL COVERING	SAB SLAB	WVY VINYL COMPOSITION TILE
EXTG EXISTING TO REMAIN	YRF FIBERGLASS REINFORCED FIBER	VCT	

- NOTES**
- TOILET ROOMS SHALL HAVE MIRROR, GRAB BARS, ANTI-SKID PROTECTION, TOILET TISSUE DISPENSERS AND PAPER HORN DISPENSERS.
 - WOOD DOORS SHALL BE STAINED AND HOLLOW METAL DOORS & FRAMES SHALL BE PAINTED.

Door Schedule

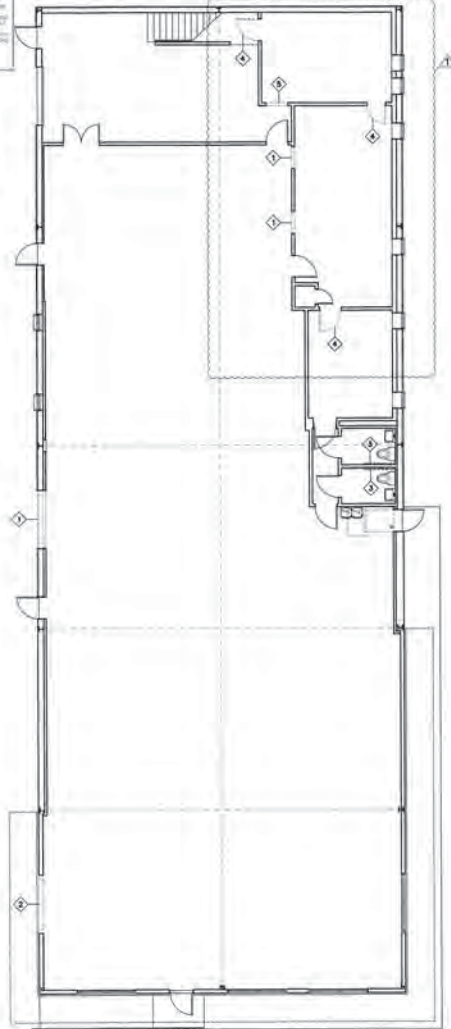
MARK	FRM/TO	SIZE (W X H)	MATERIAL	FRAME	LABEL	REMARKS
1	100/EXT	(FR) 4'-0" X 7'-0"	ALUM/GLASS	ALUM		
2	101/102	3'-0" X 7'-0"	WD	WD		DOOR AND FRAME TO MATCH EXISTING
3	102/103	3'-0" X 7'-0"	WD	WD		DOOR AND FRAME TO MATCH EXISTING
4	104/105	3'-0" X 7'-0"	WD	WD		DOOR AND FRAME TO MATCH EXISTING

ABBREVIATIONS	SW	PL	PS	CL
HW/GLASS	SCH SOLID CORE WOOD	PL FINNIX LATCH	PS PASSAGE SET	CL CHAIRER LOCK
ALUM/GLASS	ALUM/ALUMINUM & GLASS	PL FINNIX LATCH	PS PASSAGE SET	RUB RUBBER
WD/GLASS	1/2" GLASS WOOD	PL FINNIX LATCH	PS PASSAGE SET	WEATHER STRIP
H METAL	HOLLOW METAL			

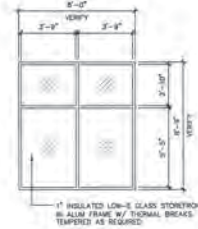
- NOTES**
- ALL HARDWARE SHALL BE ACCESSIBLE. COORDINATE ADDITIONAL WORM ROOFS R/F OWNER.
 - PROVIDE ACCESSIBLE ROUTE TO TOILET ROOM DOORS.



Vehicles shall have no more than 1/4 tank or 5 gals fuel whichever is less and batteries disconnected. No fueling of vehicles in the building.



Main Level Existing / Demolition Plan
1/8" = 1'-0"



Frame Elevation
1/8" = 1'-0"

Demolition Notes

- 1. CREATE NEW OPENING IN EXISTING WALL FOR NEW DOOR AND FRAME. PROVIDE HEADER AS REQUIRED.
- 2. CREATE NEW OPENING IN EXISTING WALL FOR NEW WINDOW. VERIFY R/F OWNER. PROVIDE HEADER AS REQUIRED.
- 3. REMOVE EXISTING GRAB BARS. PREPARE WALL FOR NEW GRAB BARS AS REQUIRED.
- 4. REMOVE EXISTING DOOR AND FRAME.
- 5. CREATE NEW OPENING IN EXISTING WALL. PROVIDE HEADER AS REQUIRED.

Wall Type Legend

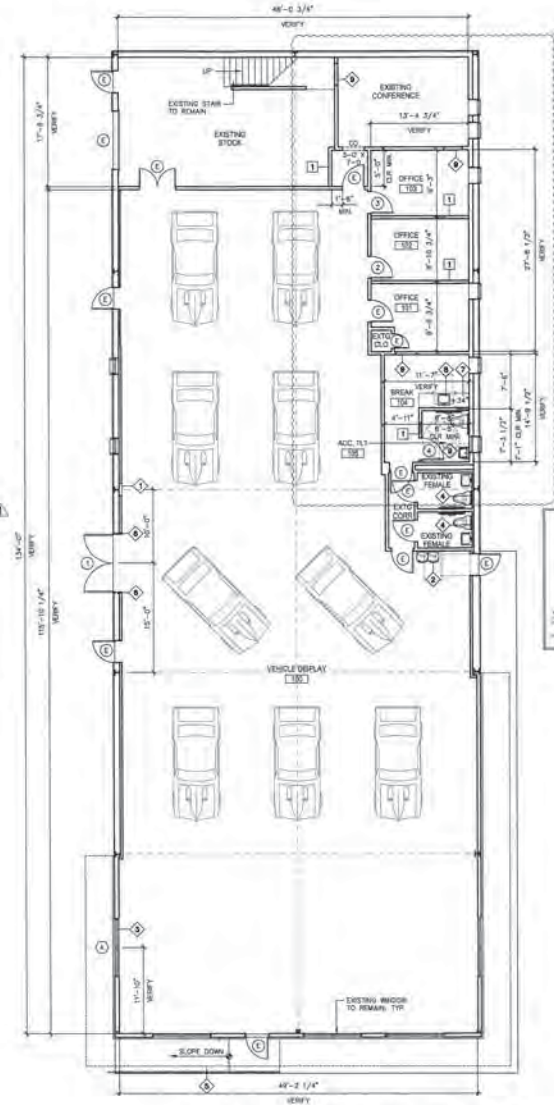
- 1. 3-5/8" METAL STUDS @ 16" O/C W/ 5/8" GIP BR SLD SIDE TO 6" ABOVE CEILING W/ #11 UNFASER BOARD ATTENUATION BLANKETS FULL HEIGHT.

Construction Notes

- 1. EXISTING ELECTRICAL PANEL.
- 2. EXISTING H/LD ENC.
- 3. NEW WINDOW IN NEW OPENING IN EXISTING WALL. VERIFY R/F OWNER. SEE STRUCTURAL DWG ON SHEET A-2.0.
- 4. NEW HORIZONTAL AND VERTICAL GRAB BARS. PROVIDE BLOODING AS REQUIRED. SEE ACCESSIBILITY DETAILS ON SHEET A-3.2.
- 5. EXISTING ACCESSIBLE RAMP AND LANDING.
- 6. PROVIDE JAMS FOR NEW DOOR AND FRAME. SEE JAMB DETAIL ON SHEET A-3.0.
- 7. NEW MILLWORK DESIGNED BY OTHERS.
- 8. NEW ACCESSIBLE SWH.
- 9. NEW LIGHT/FAN COMB. EXHAUST TO EXTERIOR.
- 10. INFILL EXISTING OPENING W/ MATERIAL TO MATCH.

Annotation Legend

- E = EXISTING TO REMAIN
- R = REMOVE OR RELOCATE
- N = NEW



Main Level Alteration Plan
1/8" = 1'-0"



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City of Greensboro
Building Department
Plan Review # 0918-1533
REVIEWED FOR CODE COMPLIANCE

US Auto Sales
709 Carriage Place
Greensboro, North Carolina
Revision: 1, 06-20-19; Building Inspection Review

A-1.0