

# NEW CONSTRUCTION

±1,350 - 4,320 SF RETAIL SPACE FOR LEASE

4826 W WENDOVER AVE | JAMESTOWN, NC 27409



JJ JOUBRAN, CCIM  
JJ@JoubranCommercial.com  
(336) 270-9775

**JOUBRAN**  
COMMERCIAL PROPERTIES

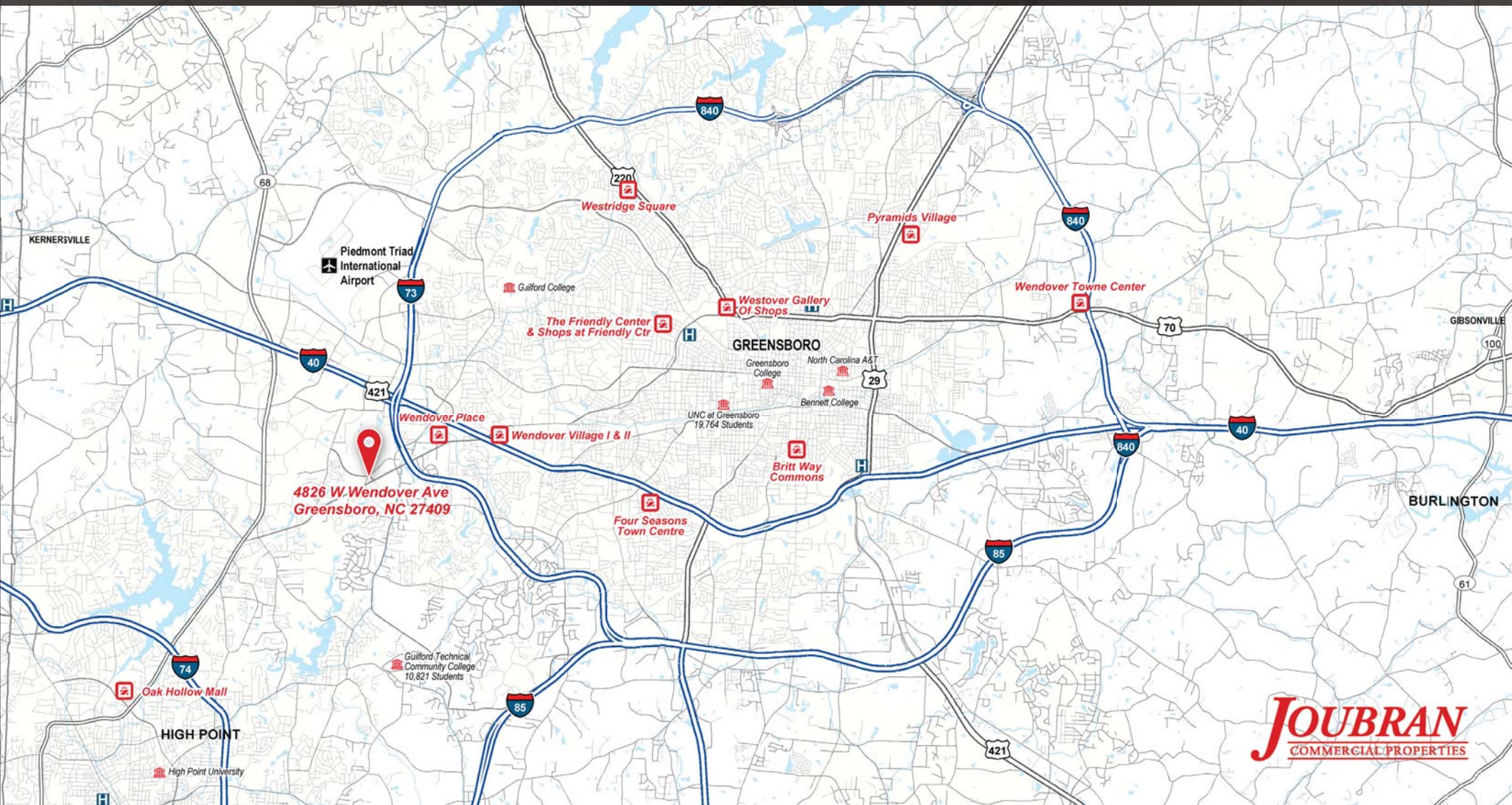


# PROPERTY DETAILS

- **4826-B:** ±1,350 - 4,320 SF (sub-dividable)
- Bojangles (Drive-Thru), Little Cesaer's Pizza & ReFuel Gas Station. 33 Parking Spaces
- 460 Multifamily Units recently built across W Wendover with another 238 Units Proposed within 0.25mi of Site
- Prime Visibility from (3) Monument Signs & Excellent Visibility from W. Wendover Ave
- In-Line with High Traffic, 'ReFuel' Convenience Store (formerly 'Great Stops')
- 3 Access Points, including Right-In off W. Wendover deceleration lane, traffic signal & full-motion left turn.

# DEMOGRAPHICS

RADIUS	1 MILE	3 MILE	5 MILE
2022 Population	6,289	48,897	122,667
2022 Avg. Household Income	\$97,652	\$87,676	\$88,046
2022 Total Households	3,062	22,210	53,934
2022 Daytime Population	4,557	62,956	153,093





# MARKET OVERVIEW

## *Greensboro, North Carolina*

Located in Guilford County, Greensboro is the 3rd most populous city in North Carolina with 295,160 residents (2021). Greensboro is home to many international and national companies and serves as the Headquarters for Honda Aircraft Co., VF Corporation, Volvo Truck of North America, RF Micro Devices, the International Textile Group, NewBridge Bank, Cook Out, Biscuitville and Gilbarco Veeder-Root.

In December 2021, Toyota announced it will invest nearly \$1.29 billion into a battery manufacturing plant at the Greensboro-Randolph Mega-Site (adjacent to US-421/future I-685). The investment will create  $\pm 1,750$  new jobs. In addition, Boom Supersonic (aircraft manufacturer) announced in January 2022 it will make a \$500 million investment and create 1,761 new jobs in a new manufacturing facility to be built at the Piedmont Triad International Airport (2.5 miles North of the Site).

Several 4-year Colleges and Universities are located in Greensboro; most notably, University of North Carolina at Greensboro, North Carolina A&T, Guilford College and Guilford Technical Community College. Nearby, High Point University was ranked the #1 Best Regional College in the South (US News & World Report, 2019).

Greensboro is also the headquarters for the ACC and The Greensboro Coliseum has hosted the ACC Men's Basketball Tournament 23 times over the years.



Drone Video

## PIEDMONT TRIAD FAST FACTS

*North Carolina's Piedmont Triad comprises 12 counties in central NC surrounding the cities of Greensboro, Winston-Salem and High Point.*

*More than 1.8 million residents live in the Piedmont Triad*

*The Piedmont Triad's (11) four-year Colleges & Universities have a total enrollment of nearly 63,000, while (9) community colleges serve an additional 34,500 students.*

*The regional workforce is more than 800,000 strong with Greensboro-High Point serving as an employment center drawing in 145,000 commuting workers.*



# SITE PLAN

## MASTER WATERSHED - BUILT UPON AREA (BUA) CALCULATIONS PER LOT

LOT	LOT AREA	BUA	% BUA	MAX BUA ALLOWED	% MAX BUA	COMMENTS
WATERSHED: NORTH POINT CITY LAKE GENERAL WATERSHED AREA						
LOT 1	10,000	10,000	100%	10,000	100%	
LOT 2	4,000	4,000	100%	4,000	100%	

### BUILT-UPON AREA CALCULATIONS FOR TOTAL SITE

TOTAL LAND AREA	4.0 AC.
BUILT-UPON AREA TO BE REMOVED	0.0 AC.
PROPOSED BUILT-UPON AREA LIMITED	0.0 AC.
PROPOSED BUILT-UPON AREA	0.0 AC.
WATERSHED NORTH POINT CITY LAKE GENERAL WATERSHED AREA	100%

### Owner's Developer's Certificate of Compliance

We, Joubbran, Inc., warrant that this site plan and map are true and correct and that we are not aware of any facts or circumstances which would render this site plan and map false or misleading.

Signature: [Signature] Date: 1/10/20

Official Designation: [Signature] Date: 1/10/20

### Multiple Lot Development Note

This project is a Multiple Lot Development and will be developed in accordance with the City of High Point Development Ordinance, and most notably, Chapter 160-100, which governs parking, loading, and unloading. The project owner shall be responsible for ensuring that the project complies with all applicable provisions of the ordinance.

### Adequate Drainage for Building Pools (standard note)

All new construction shall be designed to provide adequate drainage for the building footprint. The site plan shall show the location of all drainage structures and the flow of water from the building footprint to the street or to a water body.

Replacement of sidewalks and curbs and gutter (standard note)

Any new construction shall be designed to provide adequate drainage for the building footprint. The site plan shall show the location of all drainage structures and the flow of water from the building footprint to the street or to a water body.

Water Quality Device Maintenance Agreement

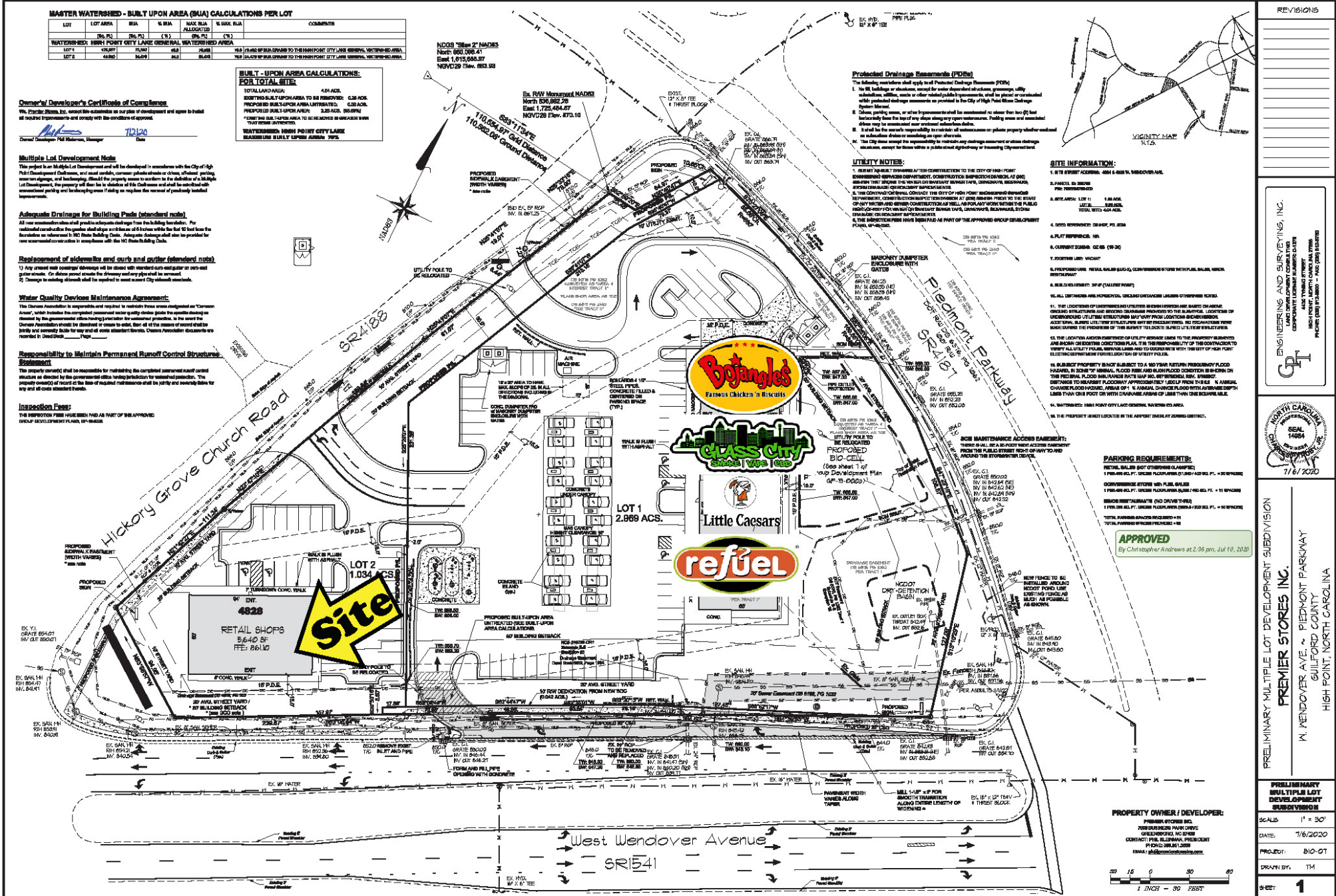
The Developer shall be responsible for maintaining the water quality device in accordance with the City of High Point Development Ordinance, and most notably, Chapter 160-100, which governs parking, loading, and unloading. The project owner shall be responsible for ensuring that the project complies with all applicable provisions of the ordinance.

Responsibility to Maintain Permanent Runoff Control Structures

The project owner shall be responsible for maintaining the permanent runoff control structures in accordance with the City of High Point Development Ordinance, and most notably, Chapter 160-100, which governs parking, loading, and unloading. The project owner shall be responsible for ensuring that the project complies with all applicable provisions of the ordinance.

Inspection Fees

The inspection fees have been paid as part of the application for this site plan. The project owner shall be responsible for ensuring that the project complies with all applicable provisions of the ordinance.



REVISIONS

NO.	DATE	DESCRIPTION
1	1/10/20	ISSUED FOR PERMIT

ENGINEERING AND SURVEYING, INC.

LAND DEVELOPMENT CONSULTANTS

1161/2020

PRELIMINARY MULTIPLE LOT DEVELOPMENT SUBDIVISION

PREMIER STORES INC.

W. WENDOVER AVE. ~ PIEDMONT PARKWAY

SULLYFORD COUNTY

HIGH POINT, NORTH CAROLINA

APPROVED

By Christopher Andrews at 2:36 pm, Jan 10, 2020

PROPERTY OWNER / DEVELOPER:

PREMIER STORES INC.

2000 WENDOVER PARKWAY

GREENSBORO, NC 27409

CONTACT: PHIL BLUMBERG, PRESIDENT

PHONE: 336.833.1000

EMAIL: phil@premierstores.com

SCALES: 1" = 30'

DATE: 1/10/20

PROJECT: B10-01

DRAWN BY: TM

SHEET: 1

"REVIEWED FOR  
CODE COMPLIANCE"  
**HIGH POINT**  
SHERMAN ARCHITECTURE PLLC  
4:06p, Aug 09, 2022

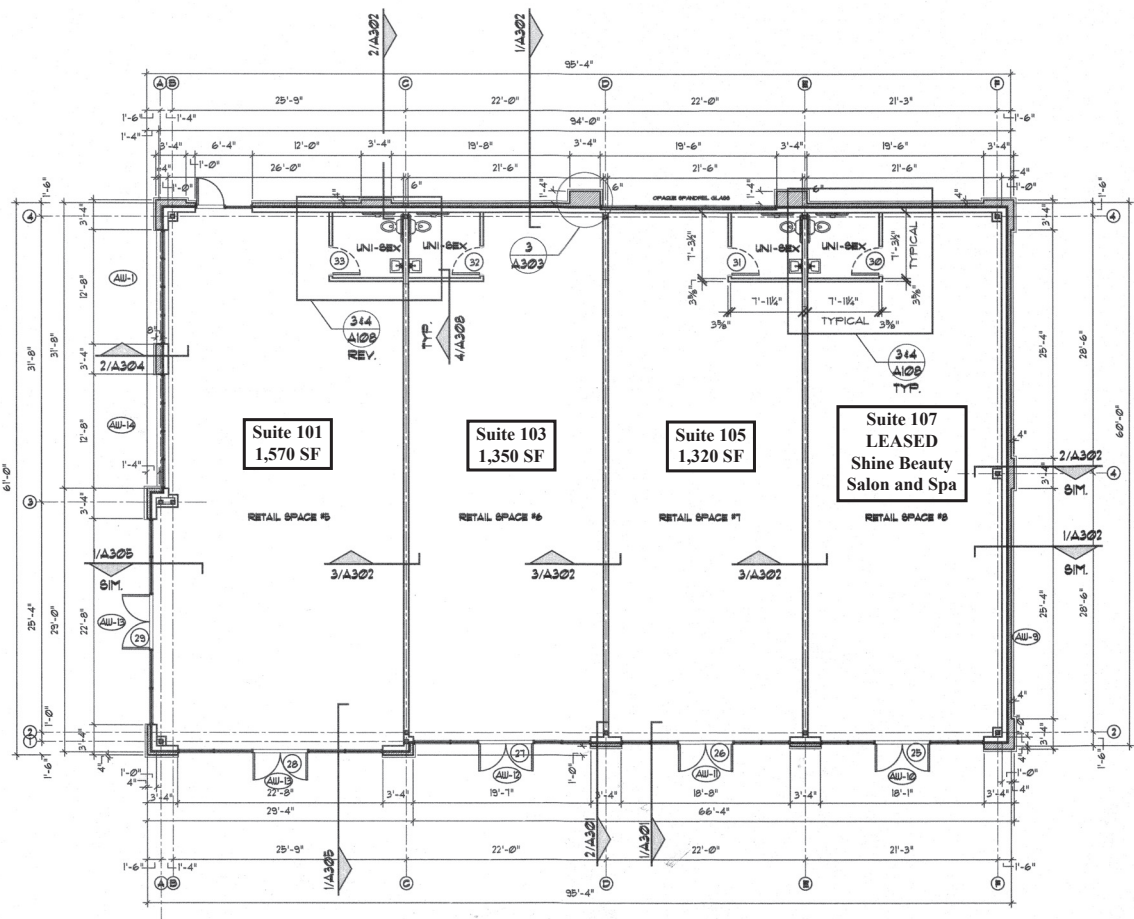
DATE	11/09/18
CADD DWS. NO.	04718-A100.00P
DRAWN BY	TWS
CHECKED BY	TWS
REVISIONS	



**GREATSTOPS**  
A Premier Stores Company

**SHERMAN ARCHITECTURE  
PLLC**  
2411 LEMON SPRINGS ROAD, SANFORD, NORTH CAROLINA  
(919)-775-2355

NEW CONVENIENCE STORE / RETAIL BUILDINGS  
GREATSTOPS AT WENDOVER  
HICKORY GROVE CHURCH ROAD  
HIGH POINT, NORTH CAROLINA  
OVERALL FLOOR PLAN - BUILDING "B"

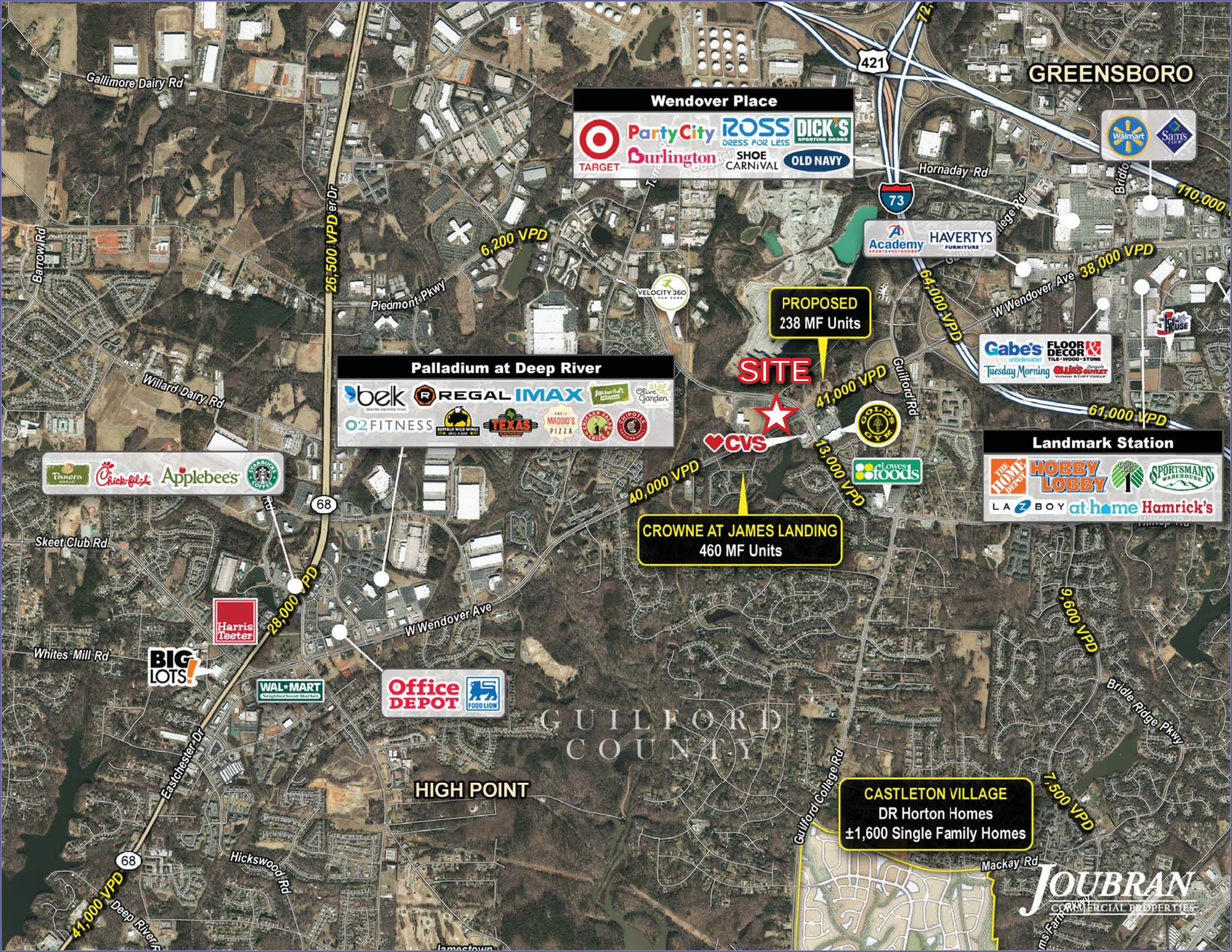


**OVERALL FLOOR PLAN**  
BUILDING "B"  
1/8" = 1' - 0"









GREENSBORO

**Wendover Place**

Target Party City ROSS DICK'S  
Burlington SHOE CARNIVAL OLD NAVY

Walmart Sam's Club

Academy HAVERTY'S  
SPORTS AND OUTDOORS FURNITURE

PROPOSED  
238 MF Units

**Palladium at Deep River**

belk REGAL IMAX  
O2FITNESS TEXAS MADRID'S PIZZA

Tanger Outlets Chick-fil-A Applebee's Starbucks

Gabe's FLOOR DECOR  
TILE WOOD STONE  
Tuesday Morning

**Landmark Station**

THE HOME DEPOT HOBBY LOBBY  
LA BOY at home Hamrick's

CROWNE AT JAMES LANDING  
460 MF Units

CASTLETON VILLAGE  
DR Horton Homes  
±1,600 Single Family Homes

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# PROPERTY PHOTOS







## CONTACT FOR LEASING DETAILS

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WWW.JOUBRANCOMMERCIAL.COM • P.O. BOX 39803 • GREENSBORO, NC 27438

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This information has been obtained from sources believed to be reliable. While we do not doubt its accuracy, we have not verified it and make no guarantee, warranty or representation to independently confirm its accuracy and completeness.